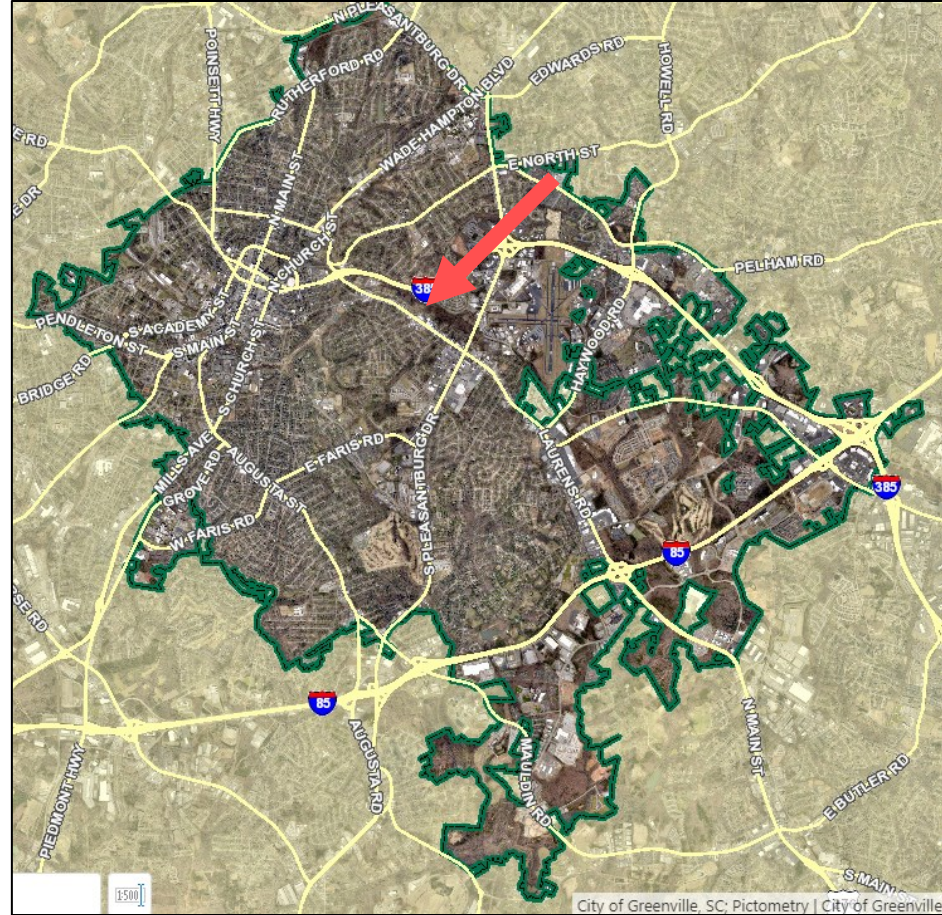


APPLICANT

NHE Inc.

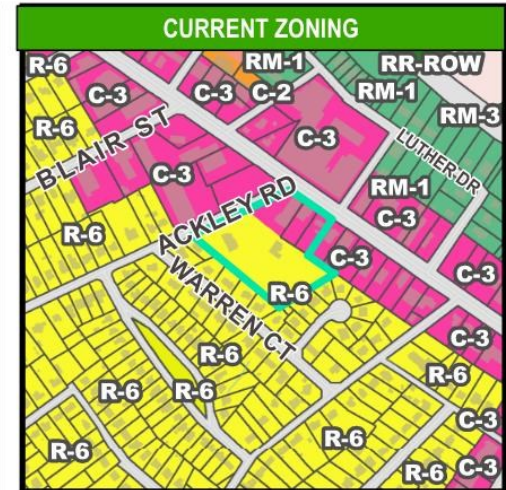
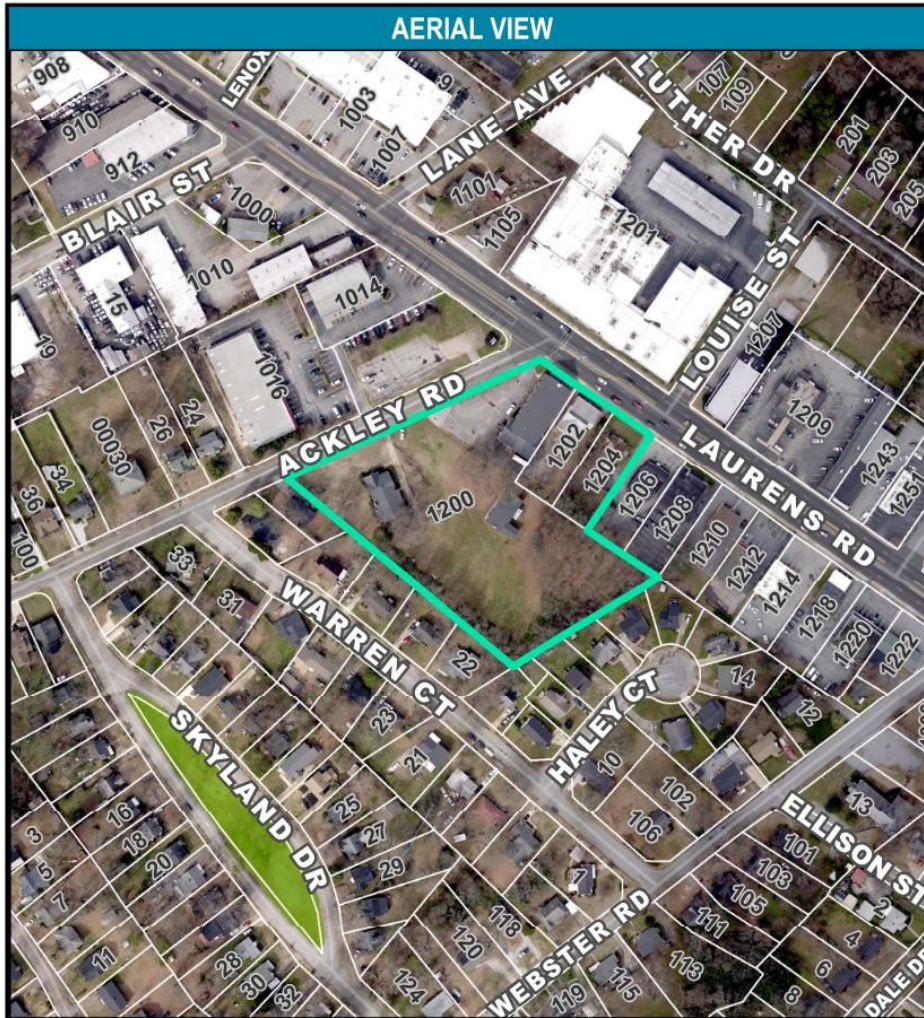
REQUEST

REZONE of 4.51 acres located on
1200 LAURENS RD from R-6 and C-
3 to PD (TM# 0198000403200,
0198000400200, 0198000400300)



Z-10-2021 | 1200 Laurens Rd

Z-10-2021 • 1200 LAURENS RD

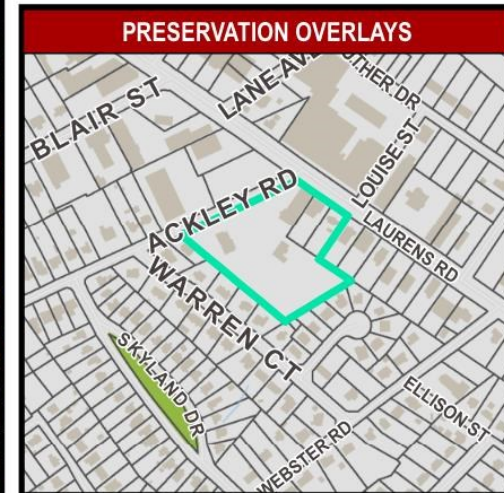


CITY COUNCIL

city of
greenville

Z-10-2021 | 1200 Laurens Rd

Z-10-2021 • 1200 LAURENS RD



Use	Type	Units/SF
Multi-family	Apartment	Up to 116 Units
Commercial	Retail or similar	Approx. 6,500 SF

All apartment units will be affordable at 60% AMI for 30 years.



Z-10-2021 | 1200 Laurens Rd

Existing Conditions

CAUTION



Know what's below.
Call before you dig.

THE UTILITIES SHOWN ARE SHOWN FOR THE CONTRACTOR'S CONVENIENCE ONLY. THERE MAY BE OTHER UTILITIES NOT SHOWN ON THESE PLANS. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE LOCATIONS SHOWN AND IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE LOCATIONS OF ALL UTILITIES WITHIN THE LIMITS OF THE WORK. ALL DAMAGE MADE TO EXISTING UTILITIES BY THE CONTRACTOR SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.



LOCATION MAP

NOT TO SCALE



SITE DATA:

PIN: 0180009400230, 0180009400203, 0180009400000

TOTAL SITE = 3.97 AC (169,490 SF)

ZONING - E3/JR

LEGEND

ABBREVIATIONS

SYMBOLS		ABBREVIATIONS
CB	CATCH BASIN	BL BUILDING LINE
	INLET	CL CENTERLINE
	ELC TRANSFORMER	CT CRAMP TOP
x	× ELEVATION (EXIST. GRADE)	DE CURBAGE EASEMENT
+	+ ELEVATION (FINISH GRADE)	EP EDGE OF PAVEMENT
HY	HYDRIANT	FL FINISHED FLOOR ELEVATION
G	GAS METER	FG FINISHED GRADE
GV	GAZ VALVE	IE INVERT ELEVATION
IP	IRON PIPE	IPS IRON PIPE SET
	IRON POLE	IPD IRON PIPE OLD
MHS	MANGHOLE (BELLSOUTH)	N&C NAIL & CAP
M	MANGHOLE (SLOTTED)	OP OPEN TOP
MSS	MANGHOLE (CL)	PB REBAR
PP	POWER POLE	R/R REINFORCED CONCRETE PIPE
TEL	TELEPHONE	R/W RIGHT OF WAY
	TELEPHONE CLOSURE	SD SENARY SEWER EASEMENT
WV	WATER VALVE	SL STRUCK LINE
→	STORMWATER FLOW	VOP VERTICAL GLAY PIPE

LINETYPES

-CTV	CABLE TV	-SS	SANITARY SEWER - EXIST.
-CH	CHAIN LINK FENCE (PROPOSED)	-NS	SANITARY SEWER - NEW
-E	CHAIN LINK FENCE (EXISTING)	-SF	STORM SEWER
-C	CONTOURS - EXIST. GRADE	-SE	STORM SEWER - EXIST.
-F	CONTOURS - FINISHED GRADE	-NS	STORM SEWER - NEW
-(F70)	FIBER OPTIC	-UG	UNDERGROUND POWER
-FM	FORCE MAIN	-UT	UNDERGROUND TEL.
-GL	GAS LINE	-W	WATER LINE - EXIST.
-OP	OVERHEAD POWER	-NW	WATER - NEW
-OT	OVERHEAD TELEPHONE	-WF	WOOD FENCE
-RD	ROOF DRAIN - NEW	-L	LIMITS OF DISTURBANCE

SITE DESIGN, INC.
CIVIL ENGINEERS - SURVEYORS - LANDSCAPE ARCHITECTS



015

S.C. REG NO 12345

**ACKLEY RD.
APARTMENTS**

CITY OF GREENVILLE
GREENVILLE COUNTY
SOUTH CAROLINA

HORIZ. SCALE 1" = 30'

VERT. SCALE	N/A
DESIGNED BY	JAW

DESIGNED BY:	JAW
DRAWN BY:	JAW

CHECKED BY:	MRB
-------------	-----

DATE:	02/04/2021
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S201421 DASE

EXISTING

EXISTING CONDITIONS

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SHEET 1 OF 4

C100

(310)

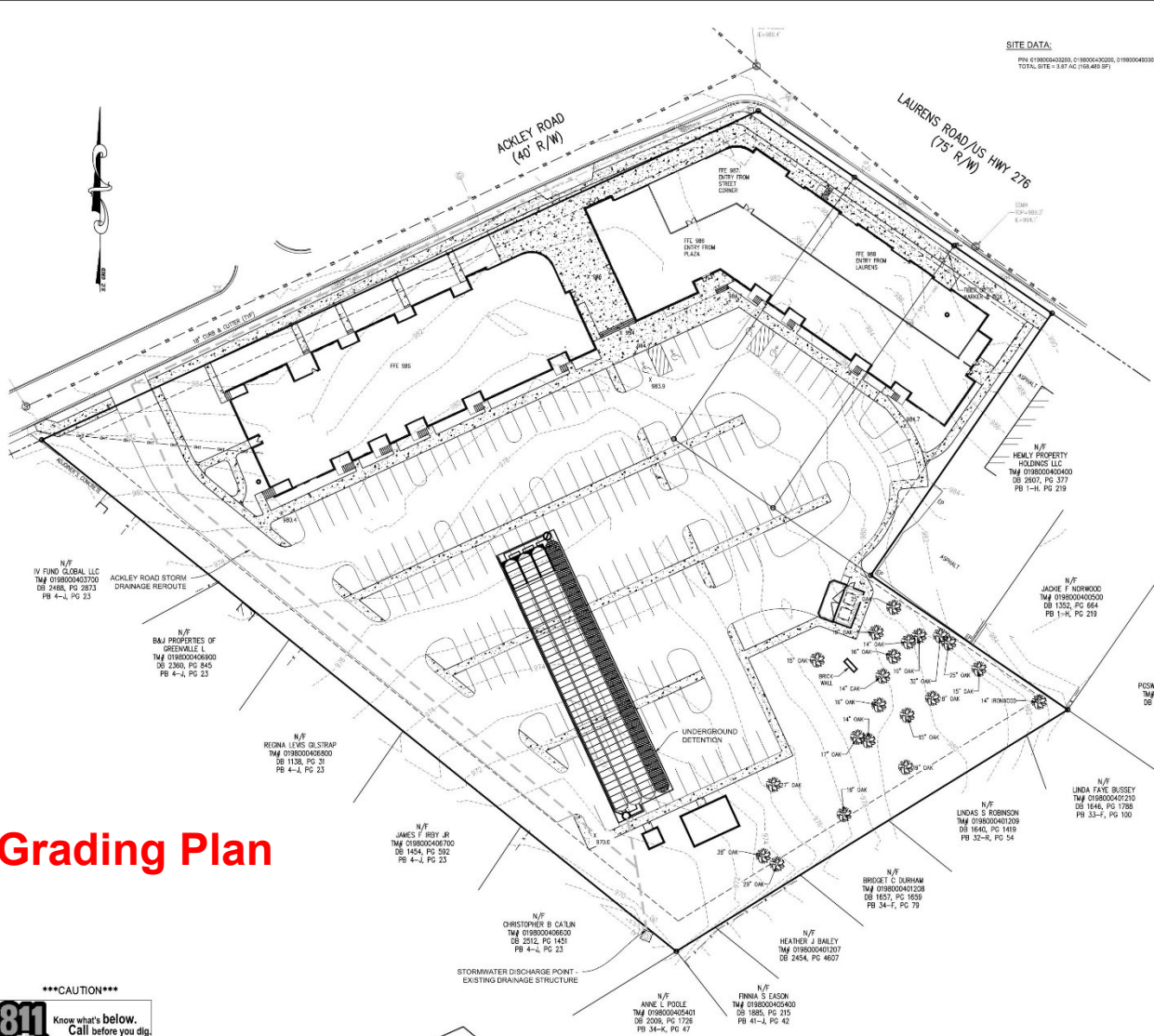
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Z-10-2021 | 1200 Laurens Rd

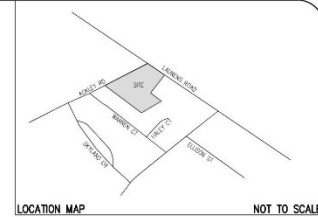
Grading Plan



THESE NOTES ARE MEANT FOR THE CONTRACTOR'S CONSIDERATION ONLY. THERE MAY BE OTHER UTILITIES NOT SHOWN ON THESE PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION, DEPTH AND TYPE OF ALL UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION, DEPTH AND TYPE OF ALL UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION, DEPTH AND TYPE OF ALL UTILITIES.



SITE DATA
PIN 01800040200, 01800040201, 01800040202
TOTAL SITE = 3.37 AC (146,480 SF)



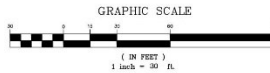
- SITE NOTES:**
1. THE PLAN IS SCHEMATIC IN NATURE AND CHANGES MAY OCCUR DURING THE DESIGN PROCESS.
 2. SITE LIGHTING SHALL BE PROVIDED. FIXTURES WILL UTILIZE FULL CUT OFF SHIELDS TO PREVENT LIGHT POLLUTION ON ADJACENT PARCELS.
 3. UNDERGROUND UTILITIES WILL BE UTILIZED. OUTLINE SHOWN IS APPROXIMATE.
 4. UNDERGROUND DETENTION SYSTEMS SHALL BE PROVIDED TO THE PROPERTY LINE TO THE SINGLE FAMILY HOMES. UNDER PROPOSED CONDITIONS STORMWATER WILL BE COLLECTED IN AN UNDERGROUND DETENTION SYSTEM AND DISCHARGED TO AN EXISTING PIPED DRAINAGE SYSTEM.

LEGEND

SYMBOLS	ABBREVIATIONS
OB 13 CATON BASIN	BL BUILDING LINE
OB 14 DRAIN INLET	CL CENTERLINE
ELEC TRANSFORMER	CT CRAMP TOP
ELEVATION (EXIST. GRADE)	DF DRAINAGE EASEMENT
ELEVATION (FINISH GRADE)	EP EDGE OF PAVEMENT
FIRE HYDRANT	FTE FINISHED FLOOR ELEVATION
GAS METER	FG FINISHED GRADE
IRON PIN	FI INVERT ELEVATION
IRON PIN SET	IPS IRON PIN SET
MANHOLE (DEVELOPER)	IPK IRON PIN OLD
MANHOLE (SD)	NAC NAIL & CAP
MANHOLE (SD)	OT OPEN TOP
POWER POLE	RR REBAR
TELEPHONE	RSE REINFORCED CONCRETE PIPE
WATER VALVE	R/R RIGHT OF WAY
STORMWATER FLOW	SS SANITARY SENDER EASEMENT
TRAFFIC FLOW	SL SERVICE LINE
	VCF VITRIFIED CLAY PIPE

LINE TYPES

--- CABLE TV	--- SANITARY SENDER - EXIST.
--- CHAIN LINK FENCE (PROPOSED)	--- SANITARY SENDER - NEW
--- CHAIN LINK FENCE (EXISTING)	--- SFT FENCE
--- CONTOUR - EXIST. GRADE	--- STORM SENDER - EXIST.
--- CONTOUR - FINISHED GRADE	--- STORM SENDER - NEW
--- FIBER OPTIC	--- UNDERGROUND POWER
--- FORCE MAIN	--- UNDERGROUND TEL
--- GAS LINE	--- WATER LINE - EXIST.
--- OVERHEAD POWER	--- WATER - NEW
--- OVERHEAD TELEPHONE	--- WOOD FENCE
--- ROOF DRAIN - NEW	--- LIMITS OF DISTURBANCE



SITE DESIGN, INC.
CIVIL ENGINEERS, LANDSCAPE ARCHITECTS

www.sitedesign-inc.com
205 ROCKY CREEK ROAD
BIRMINGHAM, AL 35210
PH: 205.982.7400

DATE	DESCRIPTION
02/04/2021	GRADING PLAN

ACKLEY RD. APARTMENTS

CITY OF GREENVILLE GREENVILLE COUNTY SOUTH CAROLINA

HORIZ. SCALE: 1" = 30'
VERT. SCALE: N/A
DESIGNED BY: JAW
DRAWN BY: JAW
CHECKED BY: MRB
DATE: 02/04/2021
S201421 BASE

GRADING PLAN

SHEET 3 OF 4

C400

Z-10-2021 | 1200 Laurens Rd



Landscape Plan



Know what's below.
Call before you dig.

THE UTILITIES SHOWN ARE SHOWN FOR THE CONTRACTOR'S CONVENIENCE ONLY. THERE MAY BE OTHER UTILITIES NOT SHOWN ON THESE PLANS. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE LOCATIONS SHOWN AND IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE LOCATIONS OF ALL UTILITIES WITHIN THE LIMITS OF THE WORK. ALL DAMAGE MADE TO EXISTING UTILITIES BY THE CONTRACTOR SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.

SITE DATA:

PIN: 0198000403200, 0198000420200, 0198000403300
TOTAL SITE = 3.87 AC (168,480 SF)



LOCATION MAP

NOT TO SCALE



SITE NOTES:

1. THE PLAN IS SCHEMATIC IN NATURE AND CHANGES MAY OCCUR DURING THE DESIGN PROCESS.
2. SITE LIGHTING WILL BE PROVIDED. FIXTURES WILL UTILIZE FULL CUT OFF SHIELDS TO PREVENT LIGHT POLLUTION ON ADJACENT PARCELS.
3. LANDSCAPE BUFFER WILL BE BETTER DEFINED DURING THE DESIGN PHASE.




















LANDSCAPE NOTES:

- 490' BUFFER - 15' WIDE
30 CANOPY TREES (10 EVERGREEN)
15 UNDERSTORY TREES (5 EVERGREEN)
09 SHRUBS (75 EVERGREEN)

275' BUFFER - 15' WIDE
17 CANOPY TREES (6 EVERGREEN)
9 UNDERSTORY TREES (3 EVERGREEN)
50 SHRUBS (42 EVERGREEN)

LEGEND

SYMBOLS

- SYMBOLS**
- CB  CATCH BASIN
DI  DROP INLET
ELEC  ELEC TRANSFORMER
ELEV  ELEVATION (EXIST, GRADE)
FINISH  ELEVATION (FINISH GRADE)
FIRE  FIRE HYDRANT
GAS  GAS METER
VALVE  GAS VALVE
IRON  IRON PIN
LP  LIGHT POLE
MHBS  MANHOLE (BELLSOUTH)
MHSD  MANHOLE (SD)
MHSS  MANHOLE (SS)
PP  POWER POLE
TEL  TELEPHONE
WATER  WATER METER
VALVE  WATER VALVE
STORM  STORMWATER FLOW
TRAFFIC  TRAFFIC FLOW

ABBREVIATIONS

- ABBREVIATIONS**
- | | |
|-----|--------------------------|
| BL | BUILDING LINE |
| CL | CENTERLINE |
| CP | CRIMP TOP |
| DE | DRAINAGE EASEMENT |
| EP | EDGE OF PAVEMENT |
| FTE | FINISHED FLOOR ELEVATION |
| FG | FINISHED GRADE |
| IE | INVERT ELEVATION |
| IPS | IRON PIN SET |
| PO | IRON PIN OLD |
| N&C | NAIL & CAP |
| OT | OPEN TOP |
| RS | REBAR |
| RCP | REINFORCED CONCRETE PIPE |
| R/W | RIGHT OF WAY |
| SE | SANITARY SEWER EASEMENT |
| SL | SETBACK LINE |
| VCP | VITRIFIED CLAY PIPE |

LINETYPES

- | | | | |
|---------|-----------------------------|---------|-------------------------|
| -07- | CABLE TV | -08- | SANITARY SEWER - EXIST. |
| -08- | CHAIN LINK FENCE (PROPOSED) | -09- | SANITARY SEWER - NEW |
| -09- | CHAIN LINK FENCE (EXISTING) | -10- | SILT FENCE |
| -10- | CONTOURS - EXIST. GRADE | -11- | STORM SEWER - EXIST. |
| -(078)- | CONTOURS - FINISHED GRADE | -12- | STORM SEWER - NEW |
| -100- | FIBER OPTIC | -13F- | UNDERGROUND POWER |
| -04- | FORCE MAIN | -14F- | UNDERGROUND TEL. |
| -05- | GAS LINE | -15- | WATER LINE EXIST. |
| -06- | OVERHEAD POWER | -16- | WATER - NEW |
| -07- | OVERHEAD TELEPHONE | -17- | WOOD FENCE |
| -08- | ROOF DRAIN - NEW | -(08C)- | LIMITS OF DISTURBANCE |

SITE DESIGN, INC.
CIVIL ENGINEERS • SURVEYORS • LANDSCAPE ARCHITECTS



www.sitedesign-inc.com
225 ROCKY CREEK ROAD
GREENVILLE, SC 29615
PH: (854)271-0496

DATE _____

S.C. REG NO 12345

**ACKLEY RD.
APARTMENTS**

CITY OF GREENVILLE
GREENVILLE COUNTY
SOUTH CAROLINA

HORIZ. SCALE: 1" = 30'

VERT. SCALE

DESIGNED BY:
DRAWN BY:

CHECKED BY:

DATE:	02/04/2021
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S201421 DASE

LANDSCAPING

LANDSCAPING
VINETTE

100

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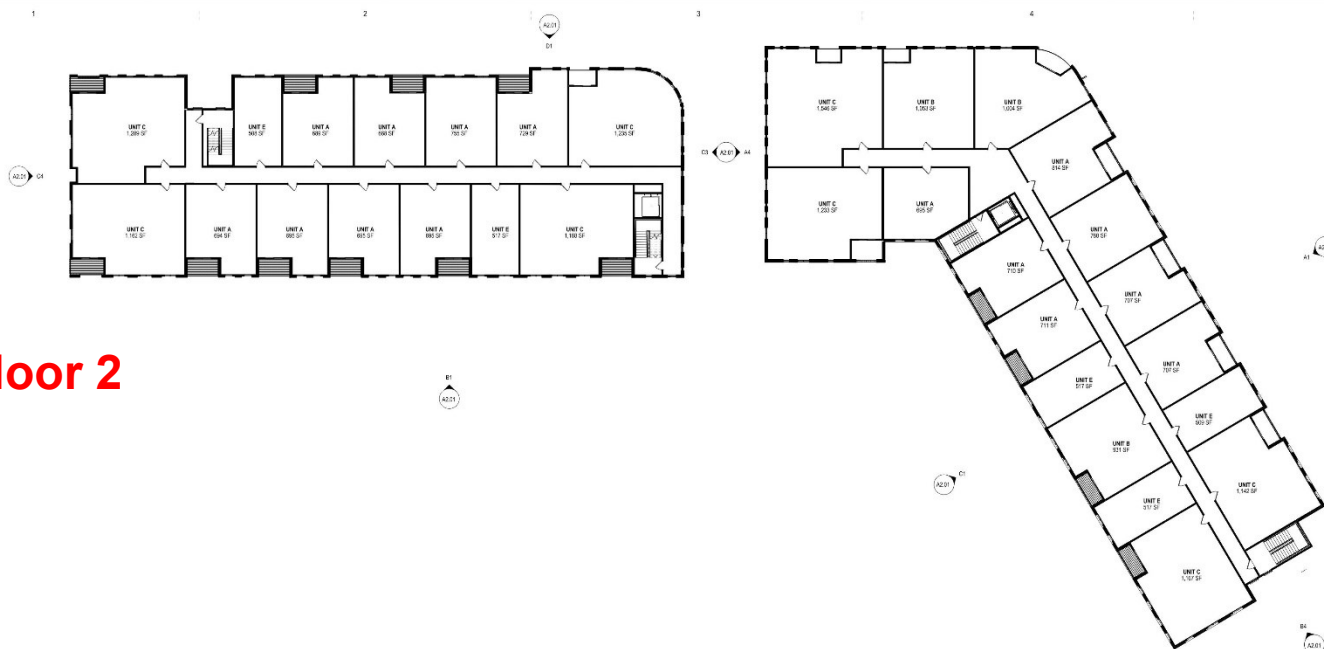
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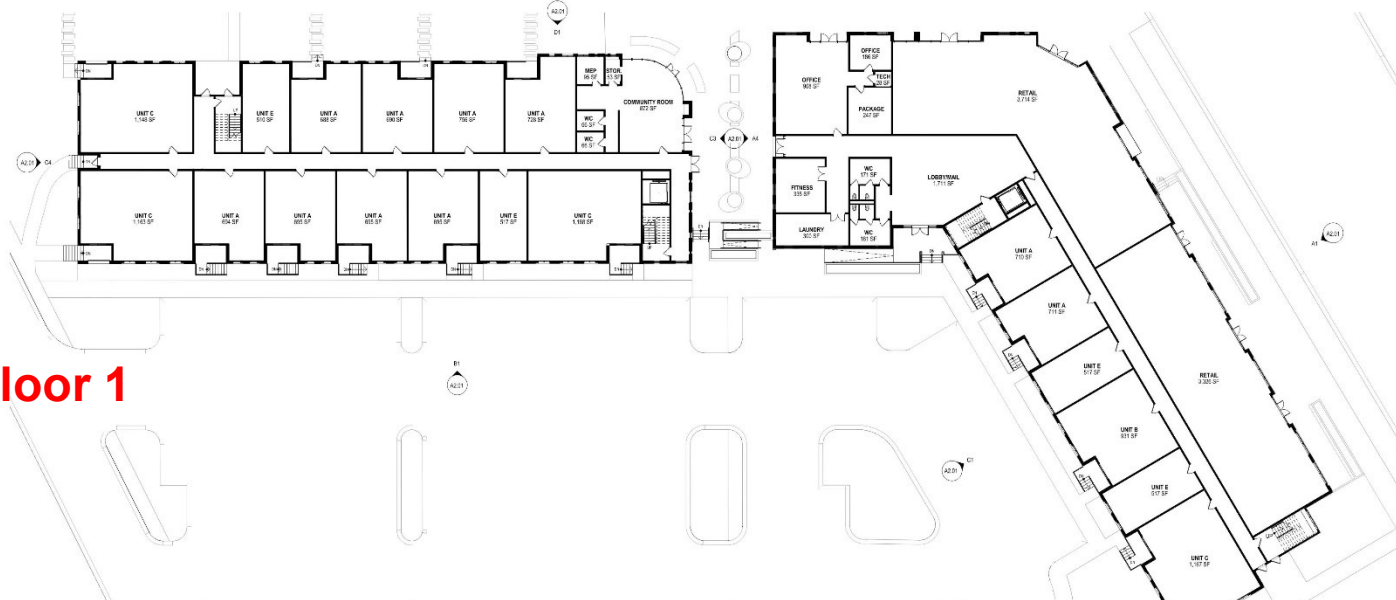
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(L100)

Floor 2



OVERALL FLOOR PLAN - LEVEL 2

 SITE DESIGN, INC.

1

NHE, INC.

GREENVILLE, SC

ACKLEY ROAD APARTMENTS

NO.	DATE	DESCRIPTION	BY
6	5/1/02	RD REZONING	MD

NOT FOR CONSTRUCTION

PRINCIPAL IN CHARGE:
PROJECT ARCHITECT:
DRAWN BY:
SHEET TITLE:
FLOOR PLANS

Z-10-2021 | 1200 Laurens Rd



COLLABORATOR
SITE DESIGN, INC.

SCALE

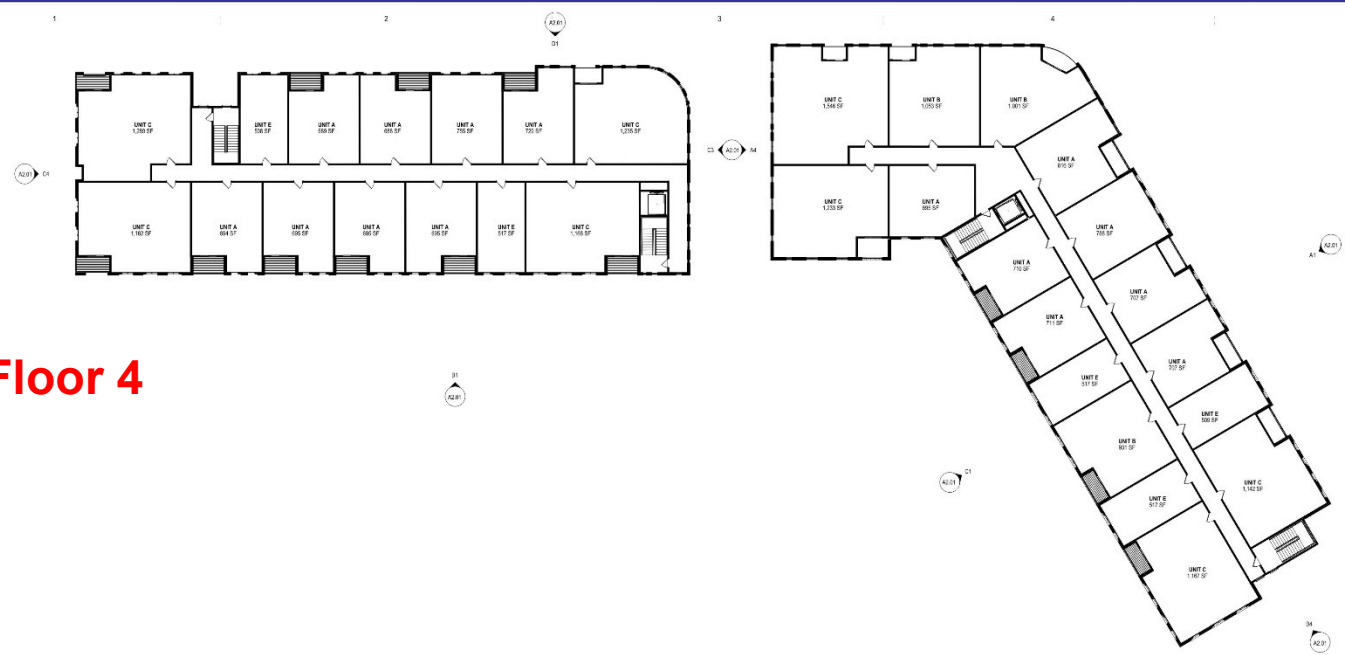
NHE, INC.
ACKLEY ROAD APARTMENTS
GREENVILLE, SC

SHEET TITLE:			
NO.	DATE	DESCRIPTION	BY
A	04/10/21	PG. 02 OF 02	MPB

NOT FOR CONSTRUCTION

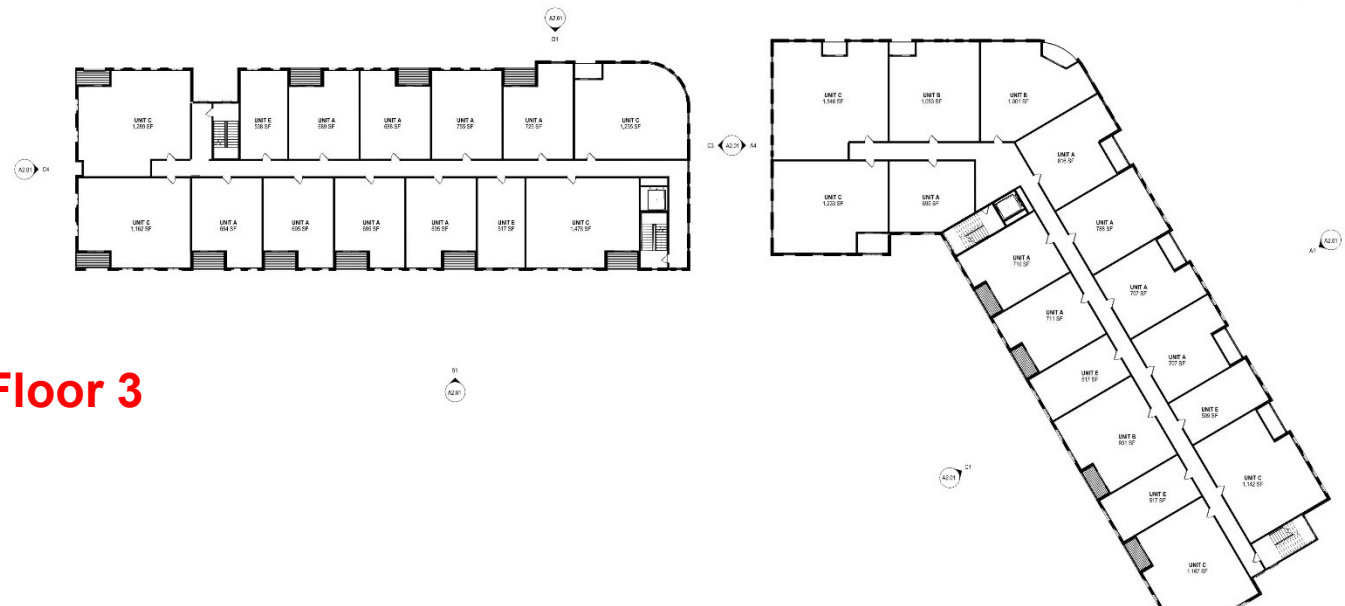
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PROJECT ARCHITECT
DRAWN BY
SHEET TITLE: FLOOR PLAN

Floor 4

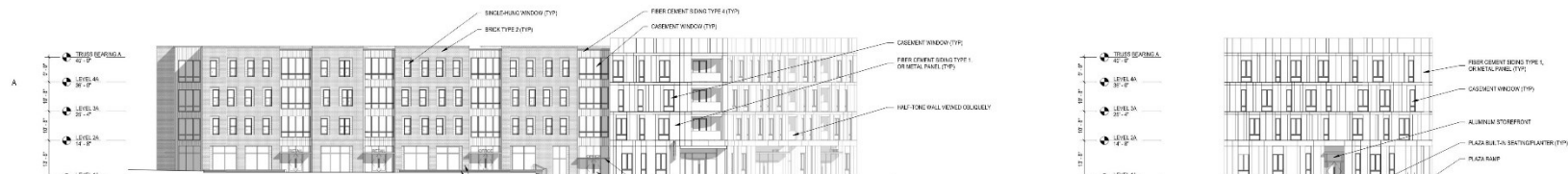
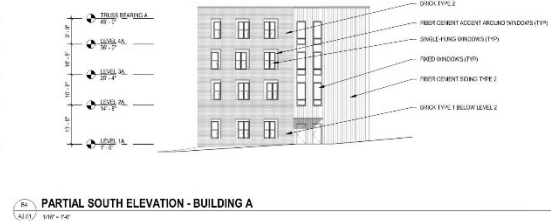
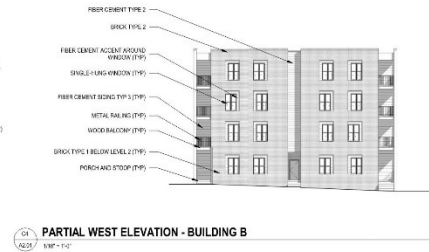
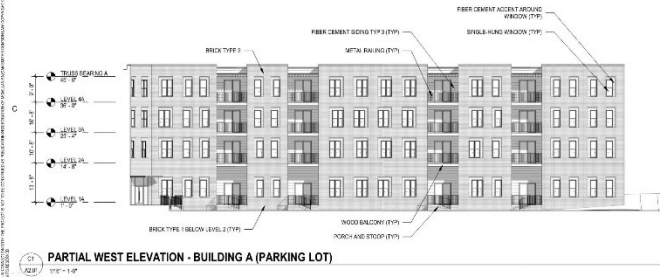


OVERALL FLOOR PLAN - LEVEL 4
10'0\"/>

Floor 3



Z-10-2021 | 1200 Laurens Rd



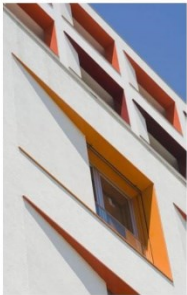
Z-10-2021 | 1200 Laurens Rd



CORNER OF LAURENS ROAD AND ACKLEY ROAD



LAURENS ROAD FACADE



PRECEDENT IMAGES



NICHOLTOWN COLOR STUDY



COLLABORATE WITH
SITE DESIGN, INC.

DATE

NHE, INC.
ACKLEY ROAD APARTMENTS
GREENVILLE, SC

SHEET TITLE:
NO. DATE DESCRIPTION BY
A 04/10/21 10:00 AM MPS

NOT FOR CONSTRUCTION

PRINCIPAL IN CHARGE
PROJECT ARCHITECT
DRAWN BY
SHEET TITLE:
RENDERINGS AND MATERIALS
ALL
NHE
DRAWING

Z-10-2021 | 1200 Laurens Rd



LAURENS ROAD STREETSCAPE FACING SOUTHEAST



VERTICAL PANEL SIDING



mcmillan
pazdan
smith
ARCHITECTURE

COLLABORATOR
SITE DESIGN, INC.

DATE

NHE, INC.
ACKLEY ROAD APARTMENTS
GREENVILLE, SC

SHEET TITLE:
NO. DATE DESCRIPTION BY
A 04/10/21 10 REDRAWN MFS

NOT FOR CONSTRUCTION

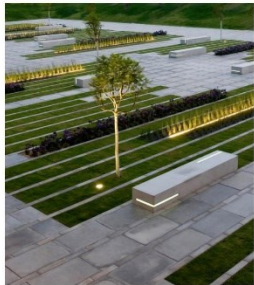
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PROJECT ARCHITECT
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SHEET TITLE:
RENDERINGS AND MATERIALS

ALL
NHE
DRAWING

Z-10-2021 | 1200 Laurens Rd



PLAZA ENTRY AND CLUBROOM FACING ACKLEY ROAD



PLAZA PRECEDENT



COLLABORATOR
SITE DESIGN, INC.

DATE

NHE, INC.

ACKLEY ROAD APARTMENTS

GREENVILLE, SC

SHEET TITLE			
NO.	DATE	DESCRIPTION	BY
A	04/10/21	REV. REVISIONS	MPB

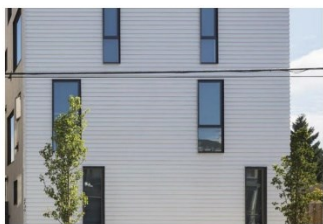
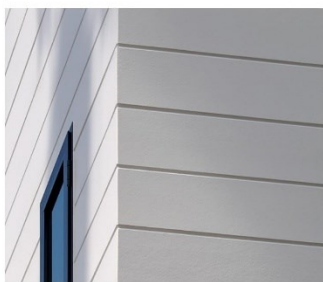
NOT FOR CONSTRUCTION

PROJECT IN CHARGE
PROJECT ARCHITECT
DRAWN BY
SHEET TITLE
RENDERINGS AND MATERIALS
ALL
NHE

Z-10-2021 | 1200 Laurens Rd



ACKLEY ROAD FACADE



LAP SIDING



COLLABORATE WITH
SITE DESIGN, INC.

DATE

NHE, INC.

ACKLEY ROAD APARTMENTS

GREENVILLE, SC

SHEET ISSUE			
NO.	DATE	DESCRIPTION	BY
A	04/10/21	FOR REVISIONS	MPB

NOT FOR CONSTRUCTION

PRINCIPAL IN CHARGE
PROJECT ARCHITECT
DRAWN BY

SHEET TITLE:
RENDERINGS AND MATERIALS

ALL
REVISIONS
TO BE
DRAWN

Z-10-2021 | 1200 Laurens Rd



BUILDING A FROM PARKING LOT



DATE

NHE, INC.

ACKLEY ROAD APARTMENTS

GREENVILLE, SC

SHEET TITLE:			
NO.	DATE	DESCRIPTION	BY
A	04/10/21	FOR REVIEW	MP

NOT FOR CONSTRUCTION

PRINCIPAL IN CHARGE
PROJECT ARCHITECT
DRAWN BY

SHEET TITLE:
RENDERINGS AND MATERIALS

ALL
IN
CONFORM

STAFF RECOMMENDATION

Recommend approval with staff comments and conditions

PLANNING COMMISSION DECISION

Recommend approval with staff comments and conditions and added conditions by a vote of 5-0. Commissioner Gardner was absent.

The Commission's additional conditions involved bus stop access, street trees, AMI percentage and number of years, building stories, fencing, dumpster, accessible parking, cross access connectivity, and improved open space connectivity.